BLKG

BOD

BOT

BRG

BSMT

CAB

CLG

CLR

CLK

MWP N/A BLOCK BLOCKING BEAM OR BENCHMARK BOTTOM OF DECK OD **BOTTOM OF REVEAL** ODS BOTTOM BEARING BRICK **BASEMENT** CABINETRY CATCH BASIN CEMENT CORNER GUARD CAST-IN-PLACE CENTER LINE CEILING CLEAR

METER

MACHINE

MASONRY

MATERIAL

MAXIMUM

MECHANICAL

MANUFACTURER

MISCELLANEOUS

MASONRY OPENING

METAL WALL PANEL

NOT APPLICABLE

NOT IN CONTRACT

OUTSIDE DIAMETER/DIMENSION

OVERFLOW DOWNSPOUT

MEMBRANE

MANHOLE

MINIMUM

MIRROR

METAL

NORTH

NUMBER

NOMINAL

NOT TO SCALE

OUTSIDE AIR

ON CENTER

OPENING OPPOSITE

OPTIONAL

ORIGINAL

OVERHEAD

PERFORATED

PROPERTY LINE

PLASTIC LAMINATE

PAVING

PLATE

PLASTER

PLUMBING

PLYWOOD

PARTITION

RADIUS

RISER

QUARRY TILE

RETURN AIR

ROOF DRAIN

RECESSED

REFERENCE

REFLECTED

REQUIRED

RESILIENT

REVISION

ROOM

ROUND

SOUTH

SCREEN

SECTION

ROOF VENT

SOLID CORE

SOAP DISPENSER

WINDOW SHADE

SLAB ON GRADE

SPECIFICATION

STAINLESS STEEL

SHEATHING

SHEET

SIMILAR

SQUARE

STANDARD

STORAGE

SYSTEM

TOP OF

TREAD

STRUCTURAL

SUSPEND(ED)

SYMMETRICAL

TOP OF BEAM

TEMPORARY

TERMINATION

THICKNESS

THRESHOLD

THROUGH

TOP OF SLAB

TOTAL

WATER

WALL TO WALL WELDED WIRE FABRIC

TRANSFORMER

TOPPING

TONGUE & GROOVE

TOP OF CONCRETE OR CURB

TOP OF FINISHED FLOOR

STREET

STEEL

SQUARE FOOT OR FEET

ROUGH OPENING

SELF ADHERED MEMBRANE

SUSPENDED ACOUSTICAL TILE

REINFORCED

PRELIMINARY

POST TENSIONED

PRESSURE TREATED

PANEL

OPEN TO BELOW

PRECAST CONCRETE

POUNDS PER CUBIC FOOT

POUNDS PER CUBIC INCH

REFLECTED CEILING PLAN

MOUNTED

METAL CEILING PANEL

MACH

MAS

MATL

MAX

MECH

MEMB

MFG

MIN

MISC

MO

CLOCK CMU CNTR CONCRETE MASONRY UNIT PLAS COUNTER COL COMP PLBG COLUMN COMPOSITE **PLYWD** CONC CONT CONCRETE CONTINUE/CONTINUOUS **PRELIM** CORR CORRIDOR PSI COV PL **COVER PLATE** PRT **CERAMIC TILE** CENTER DEEP DOUBLE DETAIL DIAMETER DIMENSION DOWN DRAIN REFL DOWNSPOUT DWG REINF DRAWING REQD EXISTING **RESIL** EAST EACH **EXPANSION BOLT EXPANSION JOINT**

ELEVATION ELECTRIC (AL) **ELEVATOR EMERGENCY ENCL ENCLOSURE ENGR** ENGINEER ELECTRICAL PANEL EQ EQUIP EXIST EQUAL **EQUIPMENT** EXISTING **EXHAUST** SHD **EXPANSION** SHTHG **EXTERIOR** FACE OF FIRE ALARM SIM SOG FLAT BAR FLOOR DRAIN **FOUNDATION** FIRE EXTINGUISHER FIN FLR FINISH FLOOR FINISH(ED) FLASH **FLASHING** FLOOR **FLUORESCENT**

STRUCT FLOOR MAT FACE OF FINISH **FACE OF CONCRETE** FACE OF MASONRY FACE OF STUDS FIRE PROTECTION FIRE RESISTANT FIREMANS REMOTE ANNUNCIATOR PANEL TEMP FOOTING FURN **FURNITURE** GROUND THRES GAUGE GALV GALVANIZED GRAB BAR GENERAL CONTRACTOR GYPSUM BOARD HOSE BIB HEADER HARDWARE HDWD HARDWOOD **HOLLOW METAL** HNDRL HANDRAIL HORIZ HORIZONTAL HEIGHT

LAMINATE

LAVATORY

LINEAR FOOT OR FEET

POUND

THERMAL RESISTANCE VALUE TYPICAL UNFIN UNFINISHED UNO **UNLESS OTHERWISE NOTED** VAPOR BARRIER VOLTAGE VAPOR RETARDER VENTILATION VERTICAL HEATING VESTIBULE HEATER HEATING, VENTILATING & **VERIFY IN FIELD** AIR CONDITIONING VENEER INSIDE DIAMETER/DIMENSION VENEER PLASTER WEST WITH INFORMATION WATER CLOSET INSULATION WOOD INTERIOR WOOD BASE INVERT WINDOW JUNCTION BOX JOIST WIRED GLASS JOINT **JANITOR CLOSET** WATERPROOFING KNOCKOUT WASTE RECEPTACLE WAINSCOT KICKPLATE WEIGHT LENGTH

XFMR

PERSPECTIVE - 60TH STREET



PERSPECTIVE - CORNER OF LANDIS & 60TH



PERSPECTIVE - LANDIS AVENUE

NEW CONSTRUCTION: MIXED USE DEVELOPMENT **BLOCK 60.03 LOT 17** SEA ISLE CITY, NJ 08243

OWNER: 6000 LANDIS AVENUE, LLC 37 EGRET TRAIL, CAPE MAY COURT HOUSE, NJ 08210 CONTACT: JAMIE SOFRONEY

CIVIL:

WILLIAM MCLEES ARCHITECTURE ARCHITECT: 5 MACARTHUR BOULEVARD SOMERS POINT, NJ 08244 CONTACT: WILLIAM MCLEES, AIA 609.927.0888

ENGINEERING DESIGN ASSOCIATES

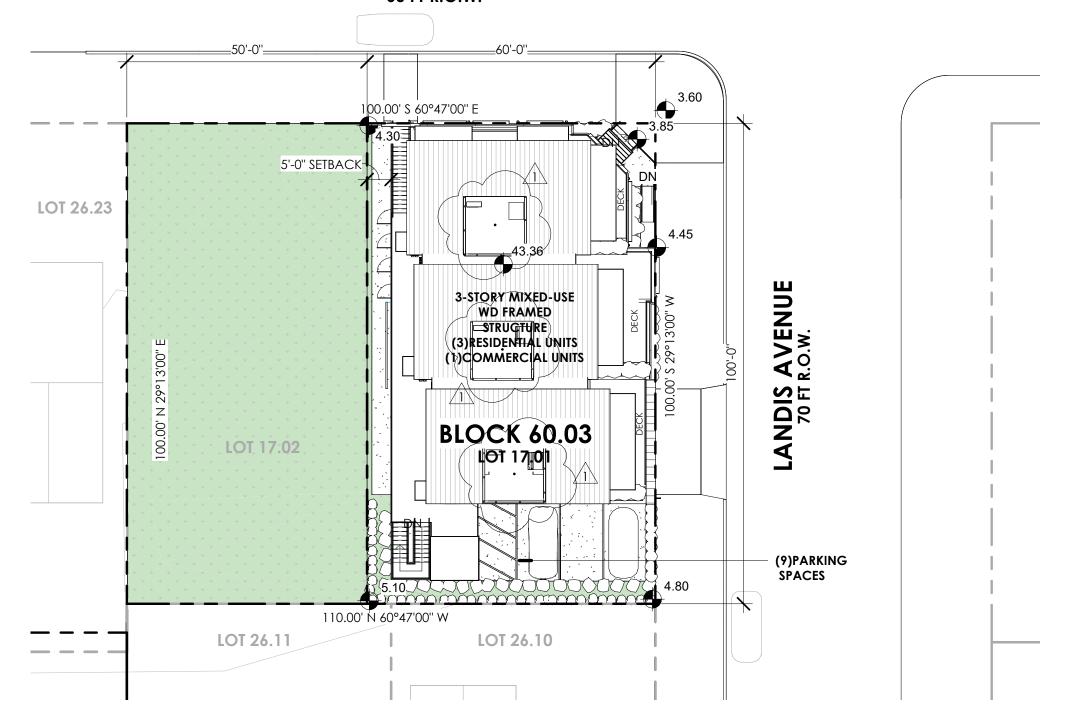
5 CAMBRIDGE DRIVE OCEAN VIEW, NJ 08230 609.390.0332

	DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	REVISION DATE	
G0.00	COVER SHEET	08.28.25	1	11.11.25	
C1.00	CIVIL COVER SHEET	08.28.25			
C2.00	EXISTING CONDITIONS & DEMOLITION PLAN	08.28.25			
C3.00	SITE PLAN	08.28.25			
C4.00	GRADING, DRAINAGE, & UTILITY PLAN	08.28.25			
C5.00	LANDSCAPE PLAN	08.28.25			
C6.00	ENGINEERING DETAILS	08.28.25			
C7.00	SOIL EROSION & SEDIMENT CONGROL PLAN	08.28.25			
A1.10	GROUND FLOOR PLAN	08.28.25	1	11.11.25	
A1.11	FIRST FLOOR PLAN	08.28.25			
A1.12	SECOND FLOOR PLAN	08.28.25			
A1.13	ROOF PLAN	08.28.25	1	11.11.25	
A1.20	REFLECTED CEILING PLAN - GROUND FLOOR	08.28.25	1	11.11.25	
A2.01	ELEVATIONS	08.28.25	1	11.11.25	
A2.02	ELEVATIONS	08.28.25	1	11.11.25	

1. TO BE EQUIPPED THROUGHOUT WITH NFPA 13 AUTOMATIC FIRE SUPPRESSION 2. ANY STREETSCAPE DAMAGED DUE TO CONSTRUCTION ACTIVITY ARE TO BE REPLACED IN ACCORDANCE THE GUIDELINES SET BY THE CITY STREETSCAPE 3. ALL NEW LANDSCAPING TO BE PROPERLY IRRIGATED.

> **60TH STREET** 60 FT R.O.W.

SITE PLAN DERIVED FROM DATA ON CIVIL ENGINEERING DRAWING SET BY ENGINEERING DESIGN ASSOCIATES, P.A.



SITE PLAN

1" = 20'-0"



william mclees architecture

William C. McLees AIA, LEED AP

5 Macarthur Boulevard | Somers Point, NJ 08244

t:609.927.0888 | f: 609.927.0889

www.wmarch.net

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AI 14054

RA403479

William McLees Architecture, LLC

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NEW CONSTRUCTION: MIXED USE DEVELOPMENT

BLOCK 60.03 LOT 17 SEA ISLE CITY, NJ 08243

APPROVAL SIGNATU	RES
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

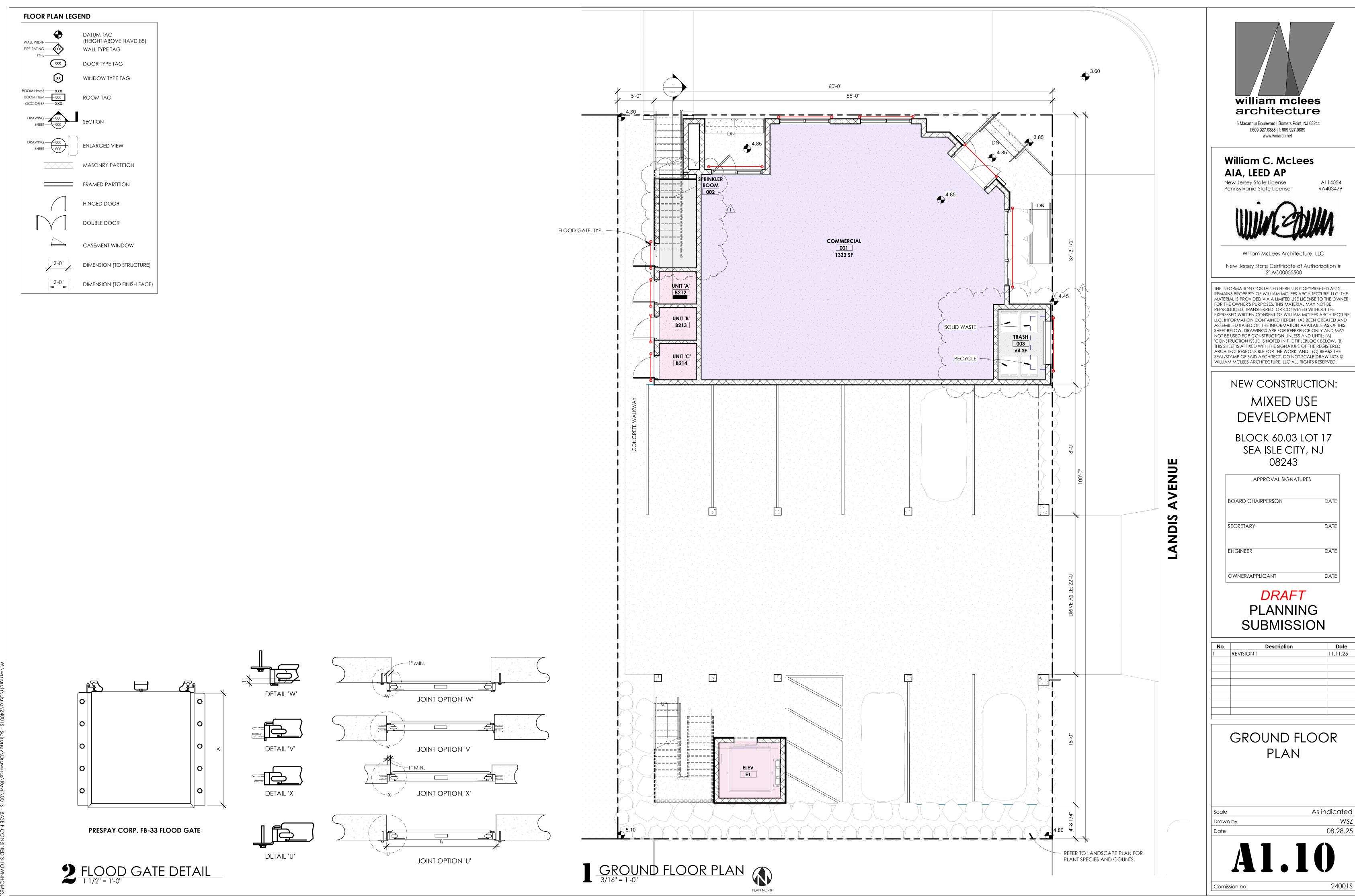
DRAFT **PLANNING** SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25

COVER SHEET

cale	As indicated
rawn by	WSZ
ate	08.28.25

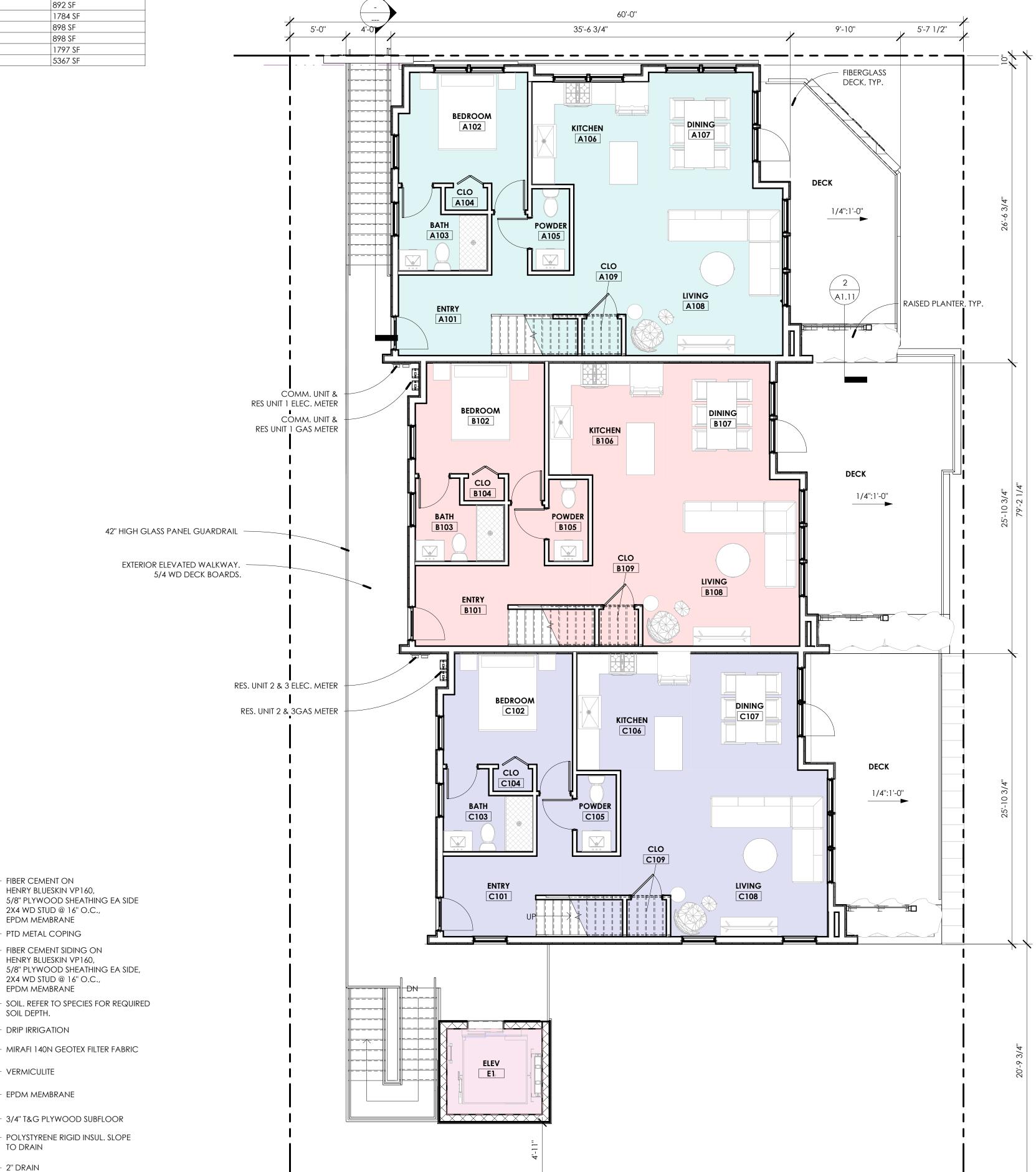
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ARCHITECTURAL DESIGN STANDARDS					
	SECTION 26-43.3				
ITEM	DESCRIPTION	REQUIRED	PROPOSED	CONFORMS	
11122 11					
MASSING a1	max. street facing wall width for providing vertical offsets	50 FT	79.2 FT	Y	
a2	max spacing between vertical offsets	33 FT	22.3 FT	Y	
a3	vertical offsets, balconies, bays	REQUIRED	Υ	Y	
a4	architecturally consistent on all facades	REQUIRED	Y	Y	
b1	ARTICULATION defined base at street fronts	REQUIRED	Y	Y	
b2	base aligned with sill or kickplate	REQUIRED	Y	Y	
b3	vertical separation, belt courses	RECOMMENDED	N	N	
b4	compatible arch, treatment on all street fronts	REQUIRED	Υ	Y	
0.1	ROOFS	DECLUDED		V	
c1	pitch, color and style compatible	REQUIRED	Υ	Y	
c2	cornice use for flat roof with arch. elements	REQUIRED	N	N	
c3	compatible pitched roof, dormers arch. elements	RECOMMENDED	Y	Y	
С4	max. roof offsets spacing	40 FT	22 FT	Y	
с5	flat roof max.	50%	68.5%	N	
С6	screened HVAC systems	REQUIRED	N	N	
dì	TRANSPARENCY % ground level glass	33%	LANDIS: 41.1% 60TH: 37.4%	Y	
d2	use of transoms (commercial)	RECOMMENDED	N	N	
d3	max. sill above grade	3 FT	1FT	Υ	
d4	vertically proportioned windows	REQUIRED	Y	Y	
d5	window muntins and divided light	RECOMMENDED	N	N	
d6	glass block	PROHIBITED	N	Y	
d7	exterior security gates	PROHIBITED	N	Y	
<u>α</u> ,	ENTRANCES	PROHIBITED	IN	ī	
el	main entrances shall front on street	REQUIRED	Y	Υ	
e2	defined and articulate	REQUIRED	Υ	Y	
e3	architectural compatible	REQUIRED	Y	Y	
f1	MATERIALS facade material durable and long	DECLUBED	Y	Y	
f2	lasting max. roof and siding colors per structure	REQUIRED 3	4	N	
	LIGHTING	DECLUSES			
gl	architectural compatible	REQUIRED	Y	Y	
g2	sign and parking area same and compatible	REQUIRED	Y	Y	
g3	LPS or merc. vapor lighting	PROHIBITED	Ν	Y	
	AWNINGS AND CANOPIES				
h1	encouraged and incorporated	RECOMMENDED	Y	Υ	
h2	maintain clearance height	9 FT	9 FT	Υ	
h3	extend over right of way	ALLOWED	Υ	Y	
h4	designed proportionate	REQUIRED	Υ	V	

REQUIRED

UNIT AREA SCHEDULE			
LEVEL	NAME	AREA	
1ST FLOOR	UNIT 1	893 SF	
2ND FLOOR	UNIT 1	893 SF	
		1786 SF	
1ST FLOOR	UNIT 2	892 SF	
2ND FLOOR	UNIT 2	892 SF	
		1784 SF	
1ST FLOOR	UNIT 3	898 SF	
2ND FLOOR	UNIT 3	898 SF	
		1797 SF	
		5367 SF	





William C. McLees

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NEW CONSTRUCTION: MIXED USE DEVELOPMENT

BLOCK 60.03 LOT 17 SEA ISLE CITY, NJ 08243

APPROVAL SIGNATUR	ES
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

DRAFT PLANNING SUBMISSION

FIRST FLOOR PLAN

As indicated Drawn by

designed proportionate

DECK JOISTS, REFER TO STRUCT DWGS.

— 2" PIPE TO CONNECT TO RECHARGE TRENCH

FIBER CEMENT ON HENRY BLUESKIN VP160,

EPDM MEMBRANE PTD METAL COPING

EPDM MEMBRANE

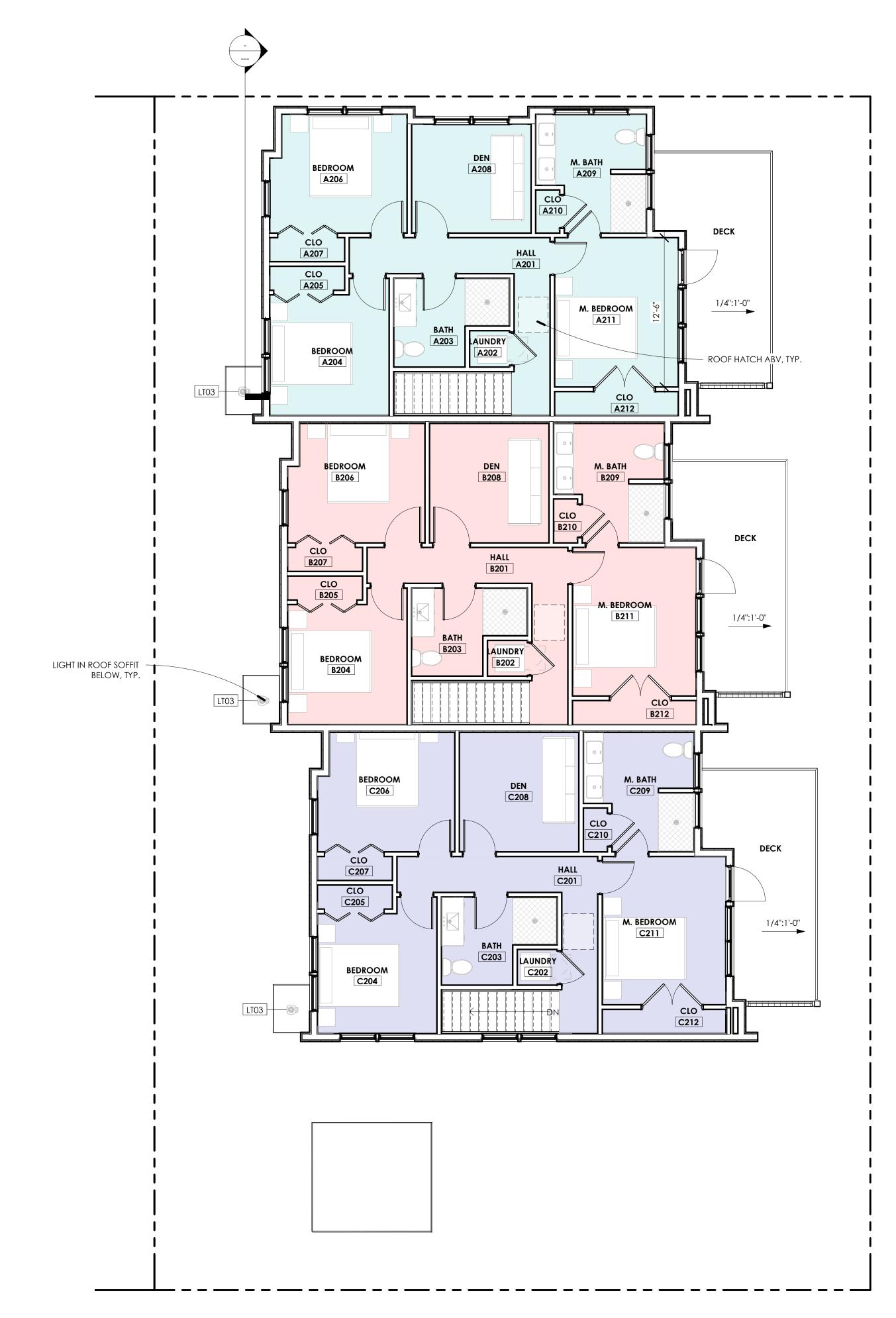
- DRIP IRRIGATION

SOIL DEPTH.

VERMICULITE

- EPDM MEMBRANE

- FIBER CEMENT SIDING ON HENRY BLUESKIN VP160,





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APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

*DRAFT*PLANNING
SUBMISSION

No.	Description	Date

SECOND FLOOR PLAN

 Scale
 3/16" = 1'-0"

 Drawn by
 WSZ

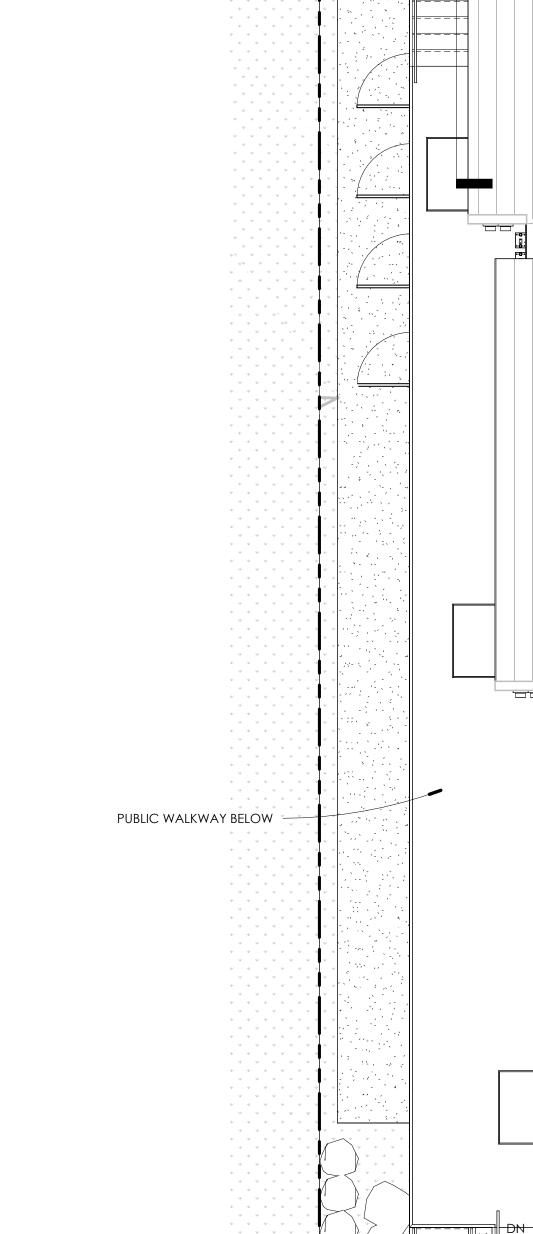
 Date
 08.28.25

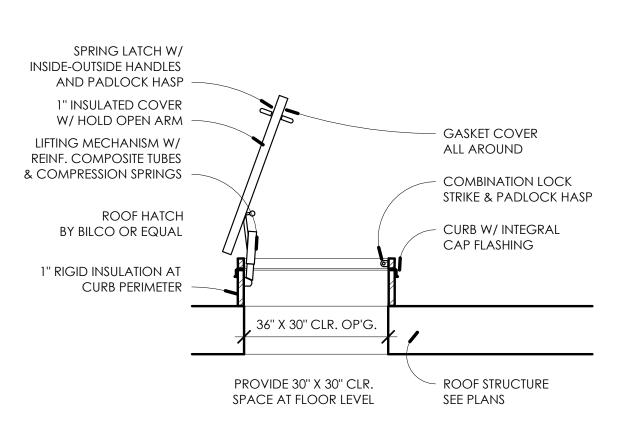
A1.12

SECOND FLOOR PLAN

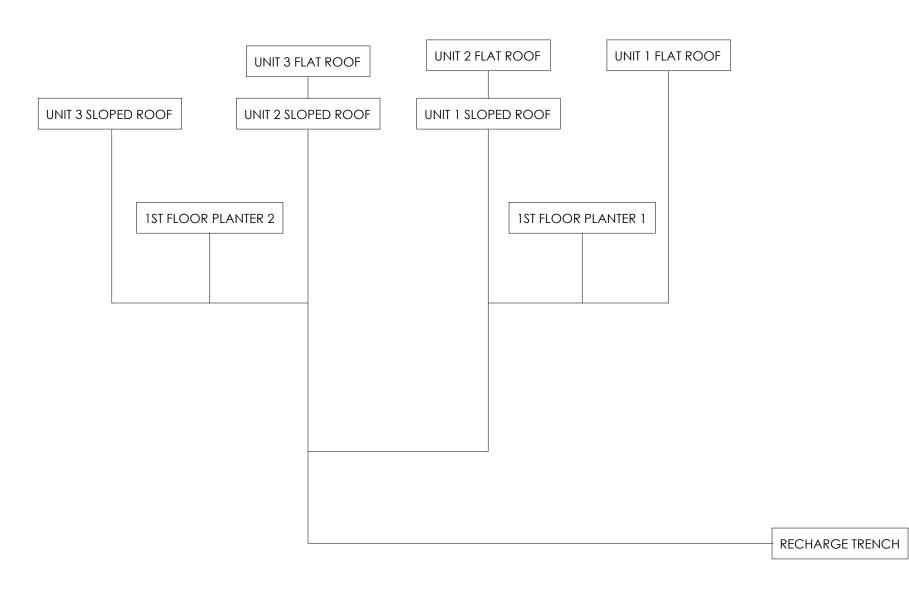
3/16" = 1'-0"

PLAN NORTH





ROOF ACCESS HATCH DETAIL 1/2" = 1'-0"



CONCEALED ALUM. GUTTER, TYP. ROOF PLAN
3/16" = 1'-0"

RESIDENTIAL MECHANICAL UNIT, TYP.

- ROOF HATCH, TYP.

ROOF DRAIN, TYP. SLOPE ROOF

1/4" PER 1'-0" TOWARDS DRAIN, TYP

42" HIGH MECH. SCREEN, TYP



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BOUNDARY OF GROUND FLOOR

- TPO ROOF MEMBRANE, TYP.

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NEW CONSTRUCTION: MIXED USE DEVELOPMENT

BLOCK 60.03 LOT 17 SEA ISLE CITY, NJ 08243

	APPROVAL SIGNATURES)
BOARI	O CHAIRPERSON	DATE
SECRE	TARY	DATE
ENGIN	EER	DATE
OWNE	R/APPLICANT	DATE

DRAFT PLANNING SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25

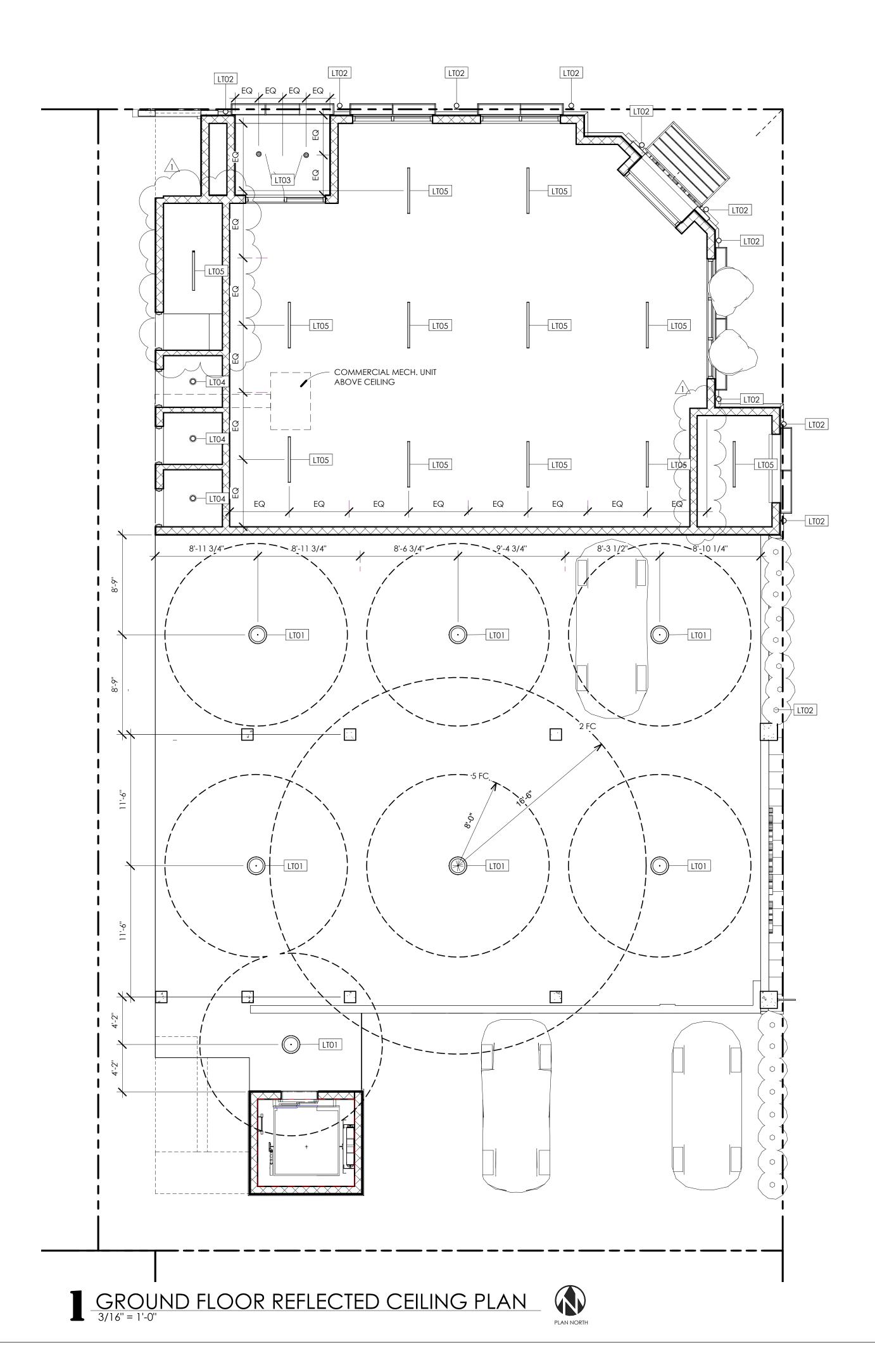
ROOF PLAN

As indicated Drawn by 08.28.25

2 ROOF DRAINAGE DIAGRAM

LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTS	MTG	NOTES
LTO1	GARAGE LTG	LITHONIA	VCPG V4 P2 30K 80CRI P5W MVOLT	120/277	34W	S	
LT02	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	
LT03	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	
LTO4	SURFACE MTD - WET LISTED	LITHONIA	FMMLS7 .90 SWW2 WL	120/277	12.2W	S	
LT05	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	<varies></varies>	







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DRAFT
PLANNING
SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25

REFLECTED CEILING PLAN - GROUND FLOOR

Scale As indicated
Drawn by WSZ
Date 08.28.25

A1.20

_		
		EXTERIOR FINISHES
	VALUE	DESCRIPTION
-	AW10	ALUMINUM AND FABRIC AWNING. COLOR BY ARCHITECT.
	DR20	PTD ALUM. ROLLUP OVERHEAD DOOR.
	FB10	FIBERCEMENT TRIM BOARD. COLOR BY ARCHITECT.
	FCP10	NICHIHA AWP 3030 VINTAGEWOOD WOOD SERIES FIBERCEMENT WAL PANEL. COLOR BY ARCHITECT.
	FCP20	NICHIHA AWP 3030 EMPIREBLOCK CONCRETE SERIES FIBERCEMENT WARPANEL. COLOR BY ARCHITECT.
	FCP30	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, HORIZONTAL ORIENTATION. COLOR BY ARCHITECT.
-	FCP40	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, VERTICAL ORIENTATION. COLOR BY ARCHITECT.
	LV10	WOOD LOOK ALUMINUM PRIVACY SCREEN.
	LV20	WOOD LOOK ALUMINUM MECHANICAL SCREEN, 42" HIGH.
-	MR10	ATAS STANDING SEAM METAL ROOF. COLOR BY ARCHITECT.
	RL10	42" ALUMINUM RAILING W/ HORIZONTAL ROUND BARS. COLOR BY ARCHITECT.
-	SF10	ALUMINUM DOUBLE GLAZED KAWNEER STOREFRONT WINDOW. COLO BY ARCHITECT.
	SN10	10" HIGH PTD METAL CHANNEL SIGN.
	SS10	CONSTRUCTION SPECIALTIES CANTILEVERED ALUMINUM LOUVERED SUNSHADE. COLOR BY ARCHITECT.
7	WW10	ANDERSEN DOUBLE GLAZED COMPOSITE FRAMED WINDOW. COLOR I



WEST ELEVATION

3/16" = 1'-0"







5 Macarthur Boulevard | Somers Point, NJ 08244 t:609.927.0888 | f: 609.927.0889 www.wmarch.net

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BLOCK 60.03 LOT 17 SEA ISLE CITY, NJ 08243

APPROVAL SIGNATUR	ES
BOARD CHAIRPERSON	DATE
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DRAFT PLANNING SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25
		<u> </u>

ELEVATIONS

le	3/16" = 1'-0'
wn by	WSZ
е	08.28.25

A2.01

Comission no. 24001S

11/11/2025 3:51:25 PM

EXTERIOR FINISHES						
VALUE DESCRIPTION						
AW10	ALUMINUM AND FABRIC AWNING. COLOR BY ARCHITECT.					
DR20	PTD ALUM. ROLLUP OVERHEAD DOOR.					
FB10	FIBERCEMENT TRIM BOARD. COLOR BY ARCHITECT.					
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FCP30	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, HORIZONTAL ORIENTATION. COLOR BY ARCHITECT.					
FCP40	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, VERTICAL ORIENTATION. COLOR BY ARCHITECT.					
LV10	WOOD LOOK ALUMINUM PRIVACY SCREEN.					
LV20	WOOD LOOK ALUMINUM MECHANICAL SCREEN, 42" HIGH.					
MR10	ATAS STANDING SEAM METAL ROOF. COLOR BY ARCHITECT.					
RL10						
SF10	ALUMINUM DOUBLE GLAZED KAWNEER STOREFRONT WINDOW. COLOR BY ARCHITECT.					
SN10	10" HIGH PTD METAL CHANNEL SIGN.					
SS10	CONSTRUCTION SPECIALTIES CANTILEVERED ALUMINUM LOUVERED SUNSHADE. COLOR BY ARCHITECT.					
WW10	ANDERSEN DOUBLE GLAZED COMPOSITE FRAMED WINDOW, COLOR B					

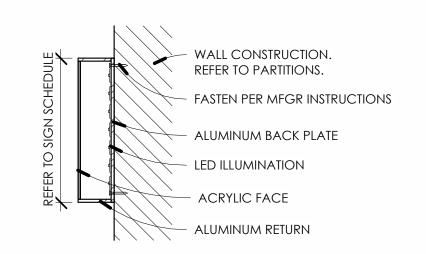
SIGNAGE SCHEDULE					
SIGN	HEIGHT	AREA	DESCRIPTION	MOUNTING	
(2) COMMERCIAL VENDORS	14"	15 S.F.	ILLUMINATED METAL CHANNEL LETTER	WALL MTD	
(1) RESIDENTIAL ENTRY	14"	15 S.F.	ILLUMINATED METAL CHANNEL LETTER	WALL MTD	
		45 S.F. TOTAL			

CAUTION

DRIVE

HIDDEN'

SIGN DETAIL - 2



LV20___

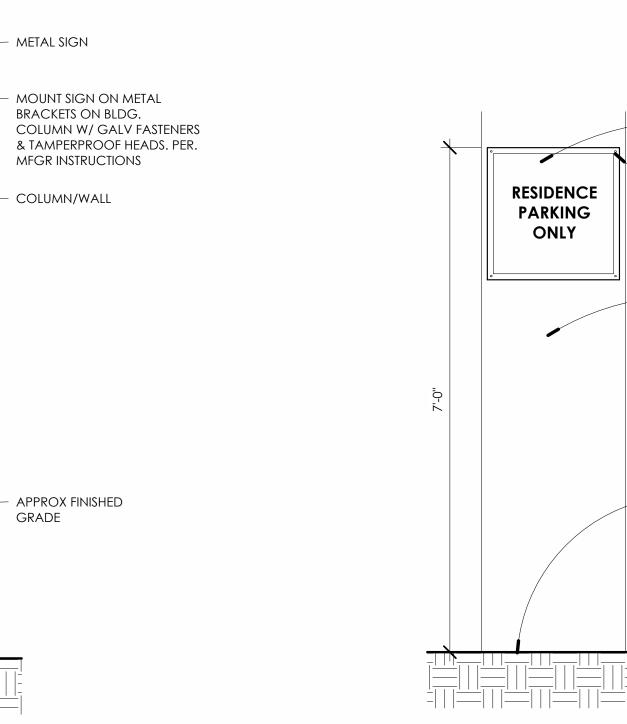
MR10

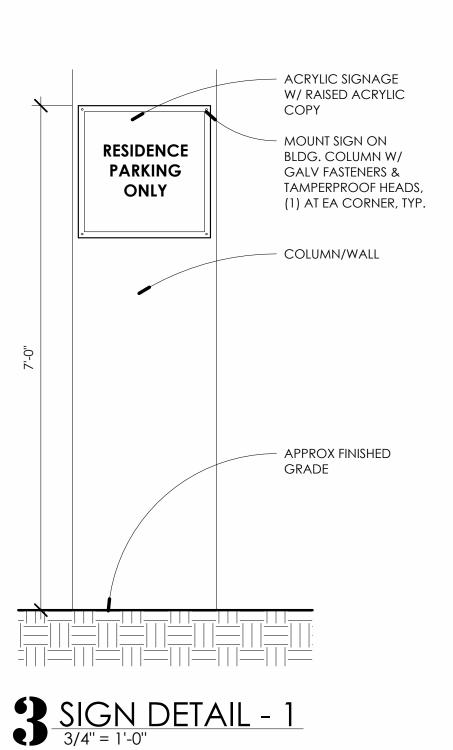
WW10

RL10

FCP20

5 CHANNEL SIGN DETAIL 1 1/2" = 1'-0"









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William C. McLees AIA, LEED AP

New Jersey State License Pennsylvania State License

ROOF 37'-6"

2ND FLOOR 27'-6"

1ST_FLOOR 16'-6"

GRND FLOOR 4'-10"

ROOF 37'-6"

2ND FLOOR 27'-6"

1ST FLOOR 16'-6"

GRND FLOOR 4'-10"

BFE+3 12'-0"

GRADE 4'-6"

5 A2.02



AI 14054

RA403479

William McLees Architecture, LLC

New Jersey State Certificate of Authorization # 21AC00055500

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NEW CONSTRUCTION: MIXED USE DEVELOPMENT

BLOCK 60.03 LOT 17 SEA ISLE CITY, NJ 08243

APPROVAL SIGNATUR	RES
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

DRAFT **PLANNING** SUBMISSION

No.	Description	Date
	REVISION 1	11.11.25

ELEVATIONS

cale	As indicated
rawn by	WSZ
pate	08.28.25

A2.02

24001S