


$$6'' = 1'-0''$$

$$6'' = 1'-0''$$


$$5'' = 1'-0''$$

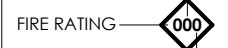
Comission no.	240019
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PLAN NORTH


FLOOR PLAN LEGEND

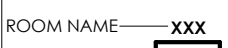

WALL WIDTH

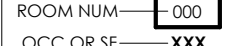

FIRE RATING

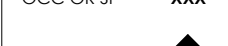

TYPE



DOOR TYPE TAG

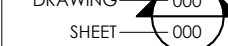

WINDOW TYPE TAG



ROOM NAME



ROOM NUM



OCC OR SF



ROOM TAG

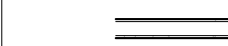

DRAWING



SHEET



SECTION



ENLARGED VIEW



MASONRY PARTITION



FRAMED PARTITION

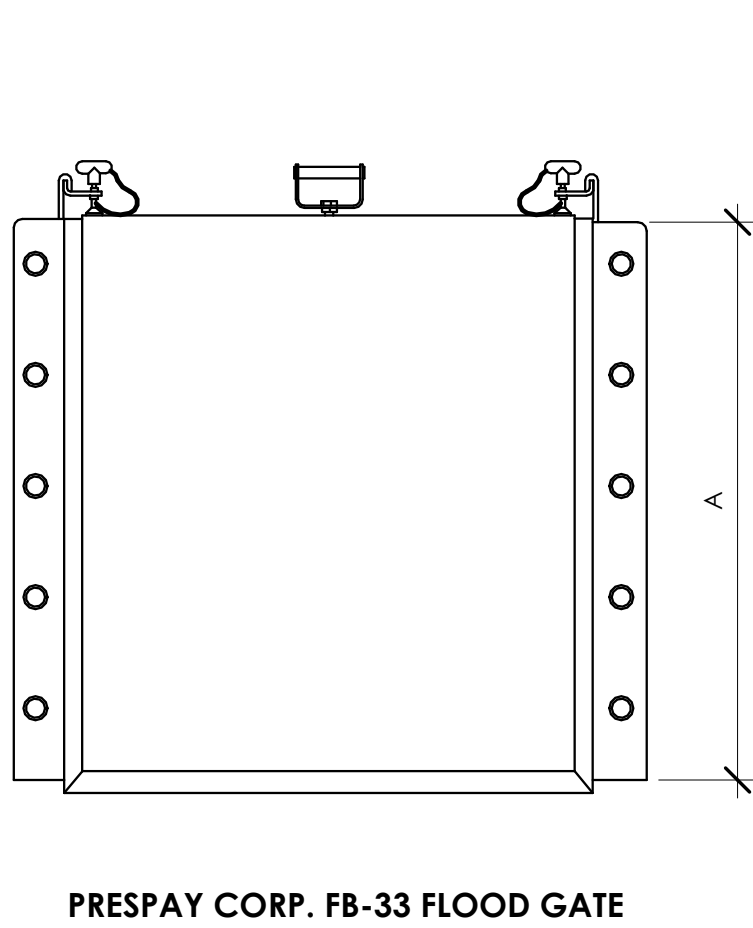

HINGED DOOR


DOUBLE DOOR

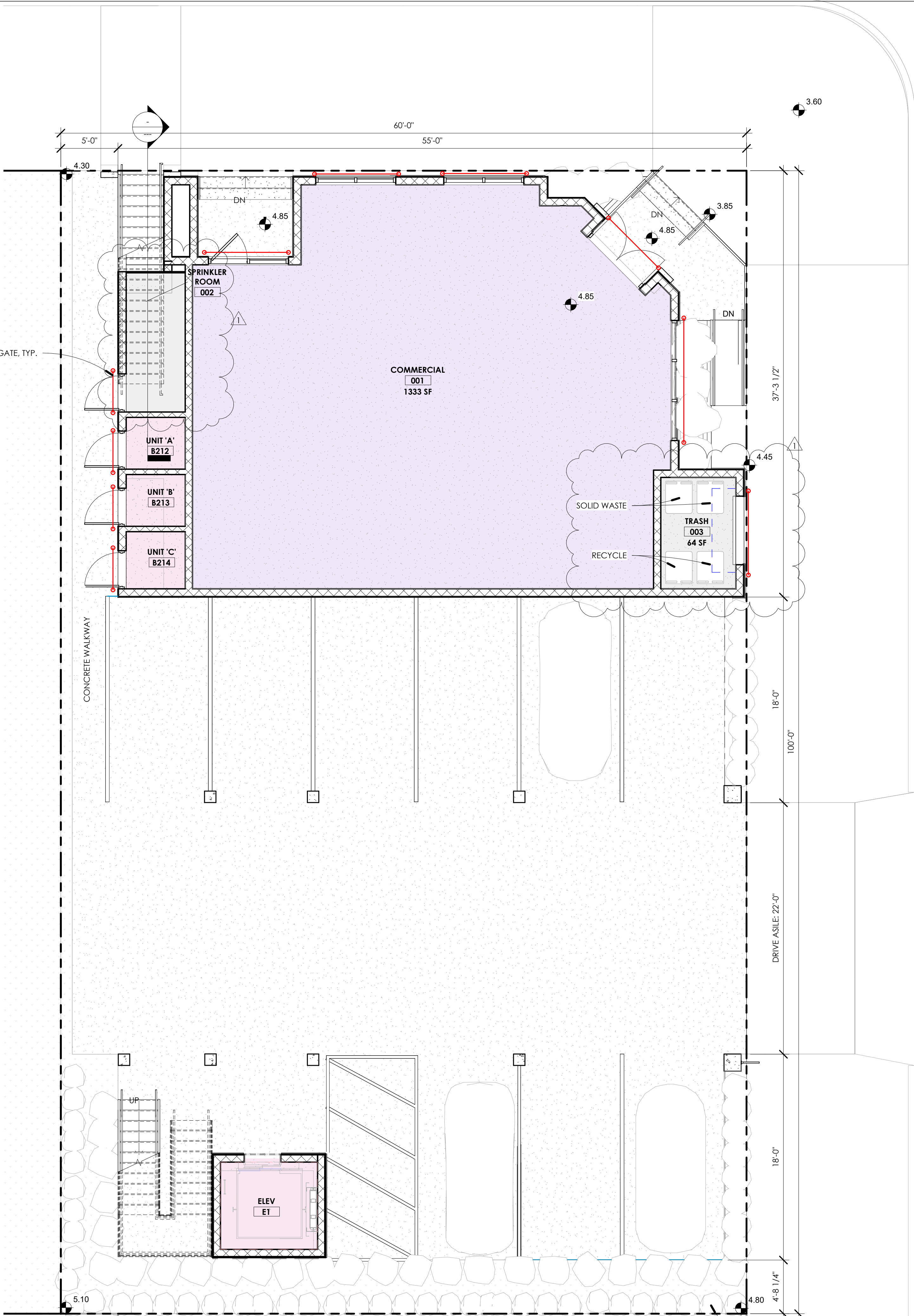
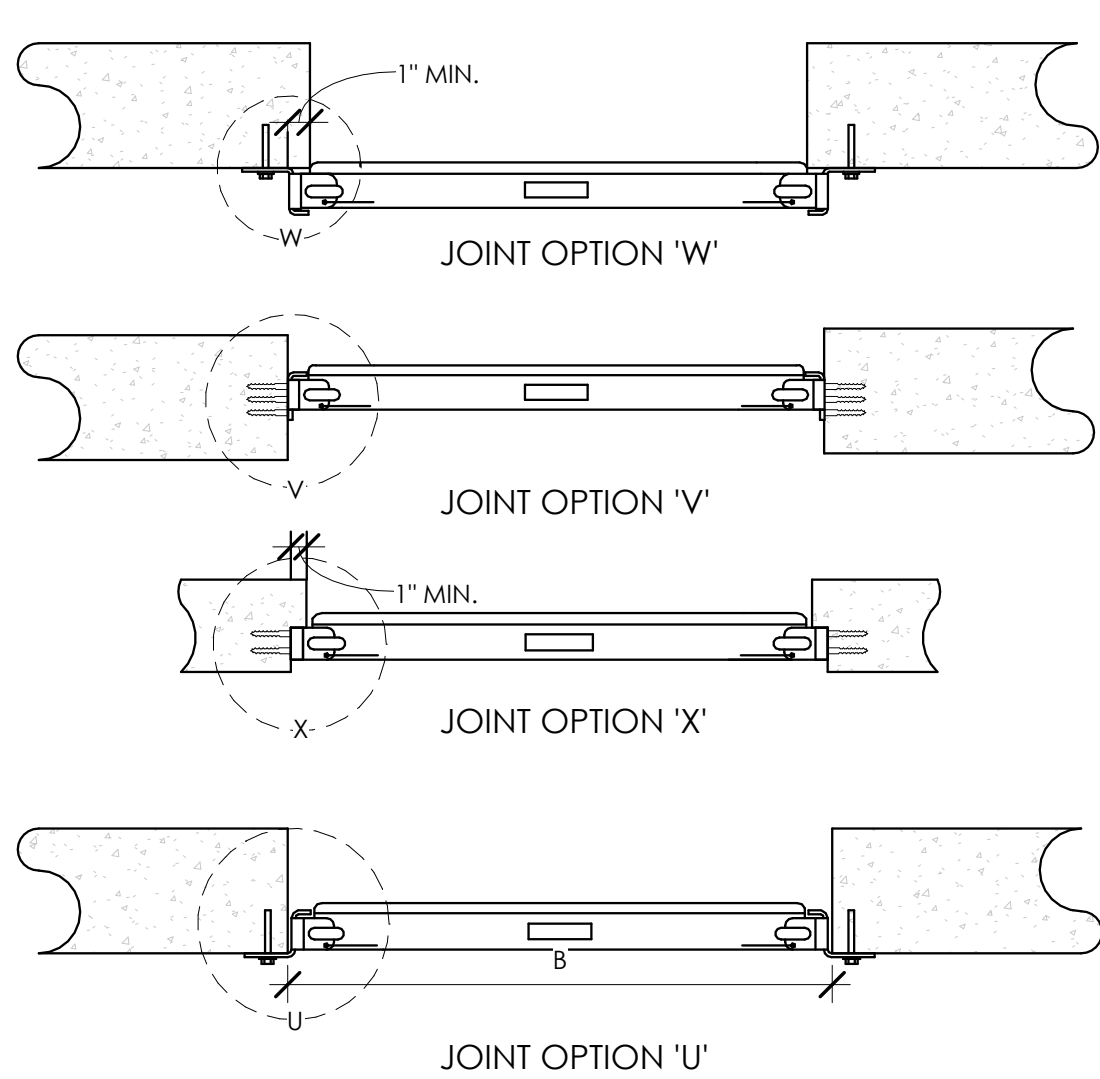
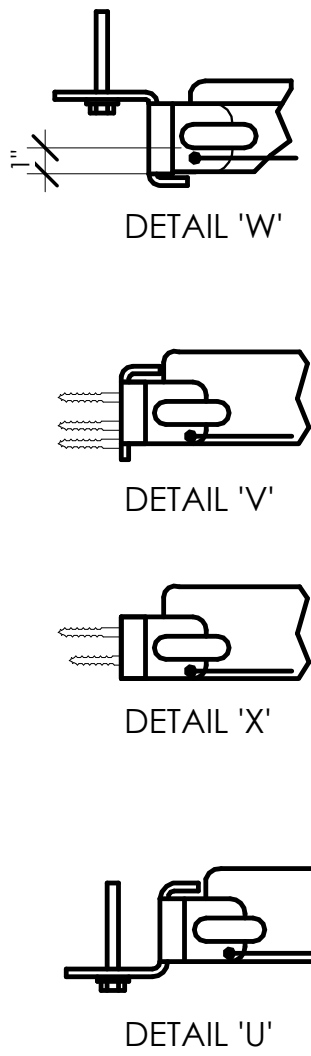

CASEMENT WINDOW


DIMENSION (TO STRUCTURE)


DIMENSION (TO FINISH FACE)



PRESPAY CORP. FB-33 FLOOD GATE

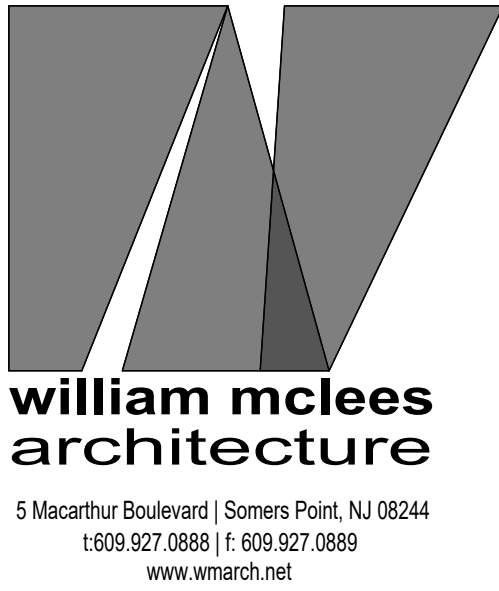


1 GROUND FLOOR PLAN
3/16" = 1'-0"



PLAN NORTH

LANDIS AVENUE



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AIA, LEED AP
New Jersey State License
Pennsylvania State License
AI 14054
RA403479

William McLees Architecture, LLC
New Jersey State Certificate of Authorization #
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NEW CONSTRUCTION:
MIXED USE
DEVELOPMENT
BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

DRAFT
PLANNING
SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25

GROUND FLOOR
PLAN

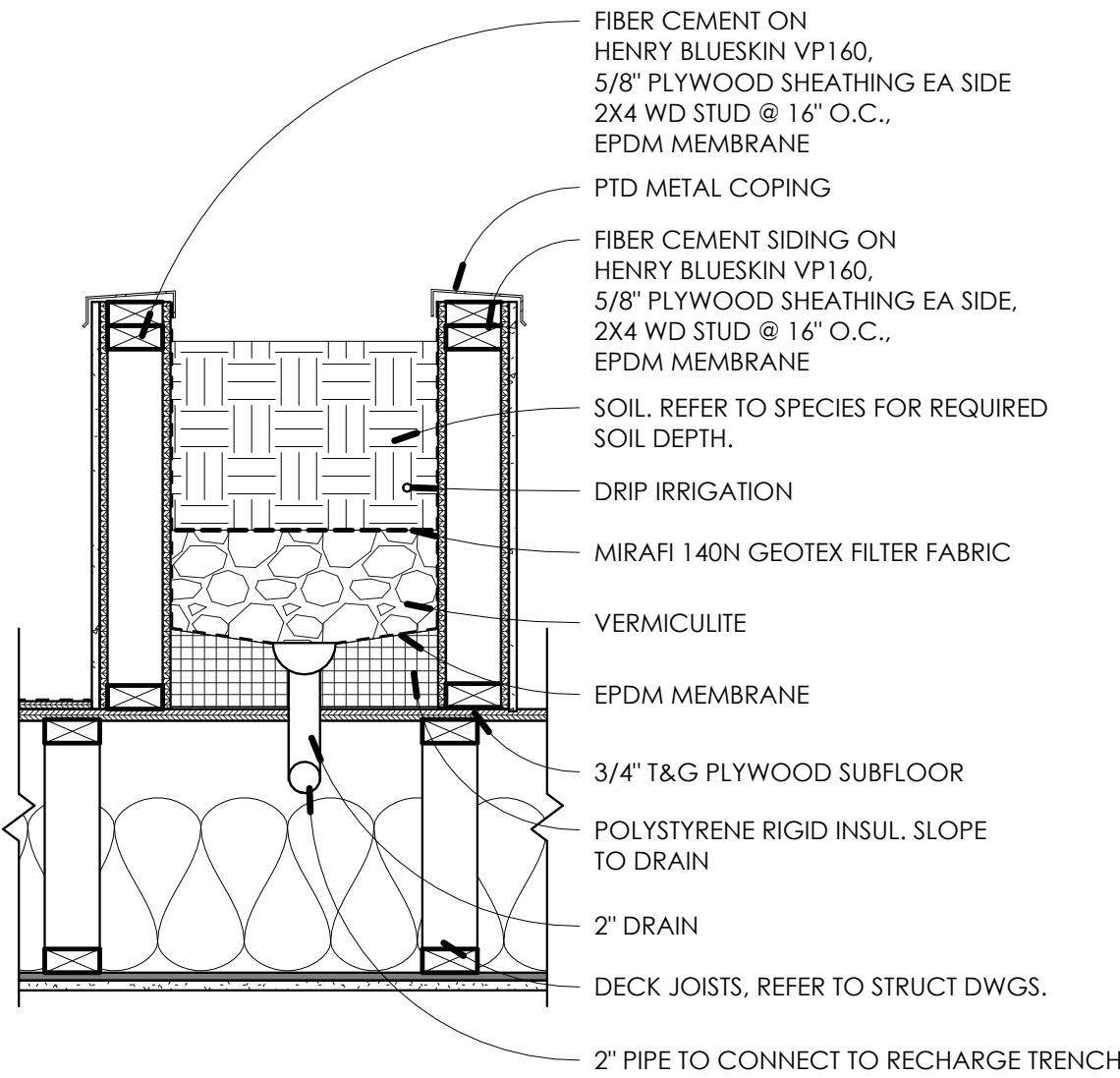
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Drawn by	WSZ
Date	08.28.25

A1.10

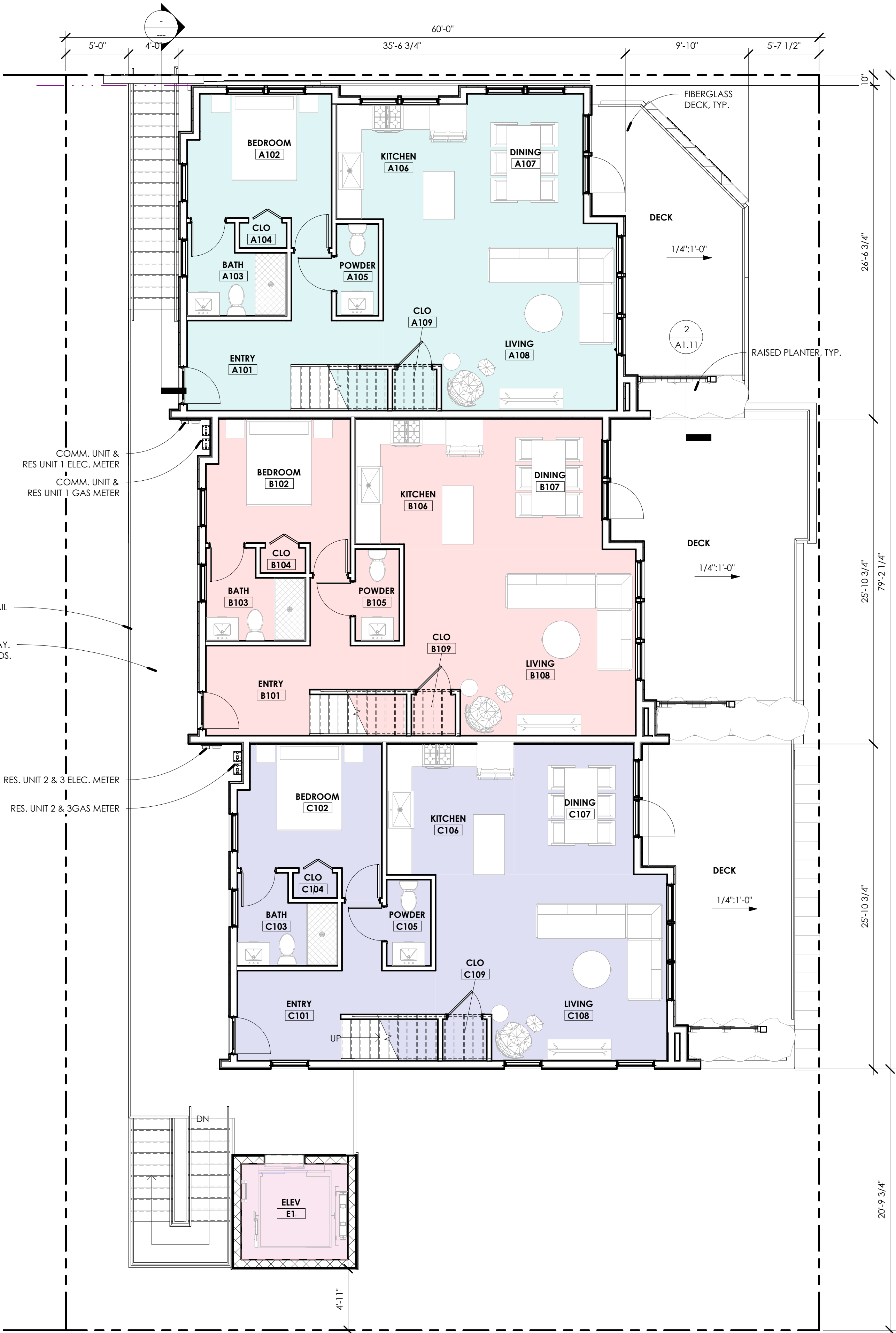
Comission no. 24001S

ARCHITECTURAL DESIGN STANDARDS				
SECTION 26-43.3				
ITEM	DESCRIPTION	REQUIRED	PROPOSED	CONFORMS
MASSING				
a1	max. street facing wall width for providing vertical offsets	50 FT	79.2 FT	Y
a2	max spacing between vertical offsets	33 FT	22.3 FT	Y
a3	vertical offsets, balconies, bays	REQUIRED	Y	Y
a4	architecturally consistent on all facades	REQUIRED	Y	Y
ARTICULATION				
b1	defined base at street fronts	REQUIRED	Y	Y
b2	base aligned with sill or kickplate line	REQUIRED	Y	Y
b3	vertical separation, belt courses	RECOMMENDED	N	N
b4	compatible arch. treatment on all street fronts	REQUIRED	Y	Y
ROOFS				
c1	pitch, color and style compatible	REQUIRED	Y	Y
c2	cornice use for flat roof with arch. elements	REQUIRED	N	N
c3	compatible pitched roof, dormers arch. elements	RECOMMENDED	Y	Y
c4	max. roof offsets spacing	40 FT	22 FT	Y
c5	flat roof max.	50%	68.5%	N
c6	screened HVAC systems	REQUIRED	N	N
TRANSPARENCY				
d1	% ground level glass	33%	LANDIS: 41.1% 60TH: 37.4%	Y
d2	use of transoms (commercial)	RECOMMENDED	N	N
d3	max. sill above grade	3 FT	1 FT	Y
d4	vertically proportioned windows	REQUIRED	Y	Y
d5	window muntins and divided light	RECOMMENDED	N	N
d6	glass block	PROHIBITED	N	Y
d7	exterior security gates	PROHIBITED	N	Y
ENTRANCES				
e1	main entrances shall front on street	REQUIRED	Y	Y
e2	defined and articulate	REQUIRED	Y	Y
e3	architectural compatible	REQUIRED	Y	Y
MATERIALS				
f1	facade material durable and long lasting	REQUIRED	Y	Y
f2	max. roof and siding colors per structure	3	4	N
LIGHTING				
g1	architectural compatible	REQUIRED	Y	Y
g2	sign and parking area same and compatible	REQUIRED	Y	Y
g3	LPS or merc. vapor lighting	PROHIBITED	N	Y
AWNINGS AND CANOPIES				
h1	encouraged and incorporated	RECOMMENDED	Y	Y
h2	maintain clearance height	9 FT	9 FT	Y
h3	extend over right of way	ALLOWED	Y	Y
h4	designed proportionate	REQUIRED	Y	Y

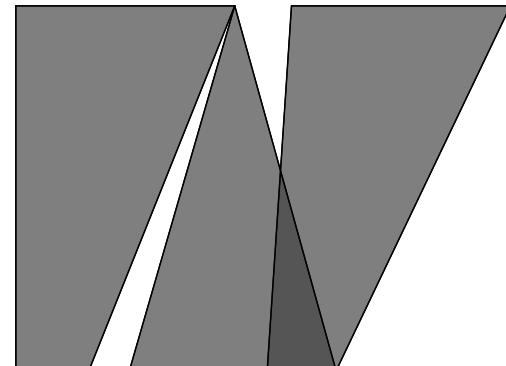
UNIT AREA SCHEDULE		
LEVEL	NAME	AREA
1ST FLOOR	UNIT 1	893 SF
2ND FLOOR	UNIT 1	893 SF
		1786 SF
1ST FLOOR	UNIT 2	892 SF
2ND FLOOR	UNIT 2	892 SF
		1784 SF
1ST FLOOR	UNIT 3	898 SF
2ND FLOOR	UNIT 3	898 SF
		1797 SF
		5367 SF



2 PLANTER DETAIL
1" = 1'-0"



1 FIRST FLOOR PLAN
3/16" = 1'-0"



**william mclees
architecture**

5 Macarthur Boulevard | Somers Point, NJ 08244
t:609.927.0888 | f: 609.927.0889
www.wmarch.net

**William C. McLees
AIA, LEED AP**

New Jersey State License
Pennsylvania State License

A1 14054
RA403479

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NEW CONSTRUCTION:

**MIXED USE
DEVELOPMENT**

**BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243**

APPROVAL SIGNATURES

BOARD CHAIRPERSON DATE

SECRETARY DATE

ENGINEER DATE

OWNER/APPLICANT DATE

**DRAFT
PLANNING
SUBMISSION**

No.	Description	Date

FIRST FLOOR PLAN

Scale As indicated

Drawn by WSZ

Date 08.28.25

A1.11

Comission no. 24001S

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DEVELOPMENT

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SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

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SUBMISSION

No.	Description	Date

SECOND FLOOR
PLAN

Scale3/16" = 1'-0"

Drawn byWSZ

Date08.28.25

A1.12

Comission no.24001S



1 SECOND FLOOR PLAN

3/16" = 1'-0"

PLAN NORTH

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NEW CONSTRUCTION:
**MIXED USE
DEVELOPMENT**

BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

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**PLANNING
SUBMISSION**

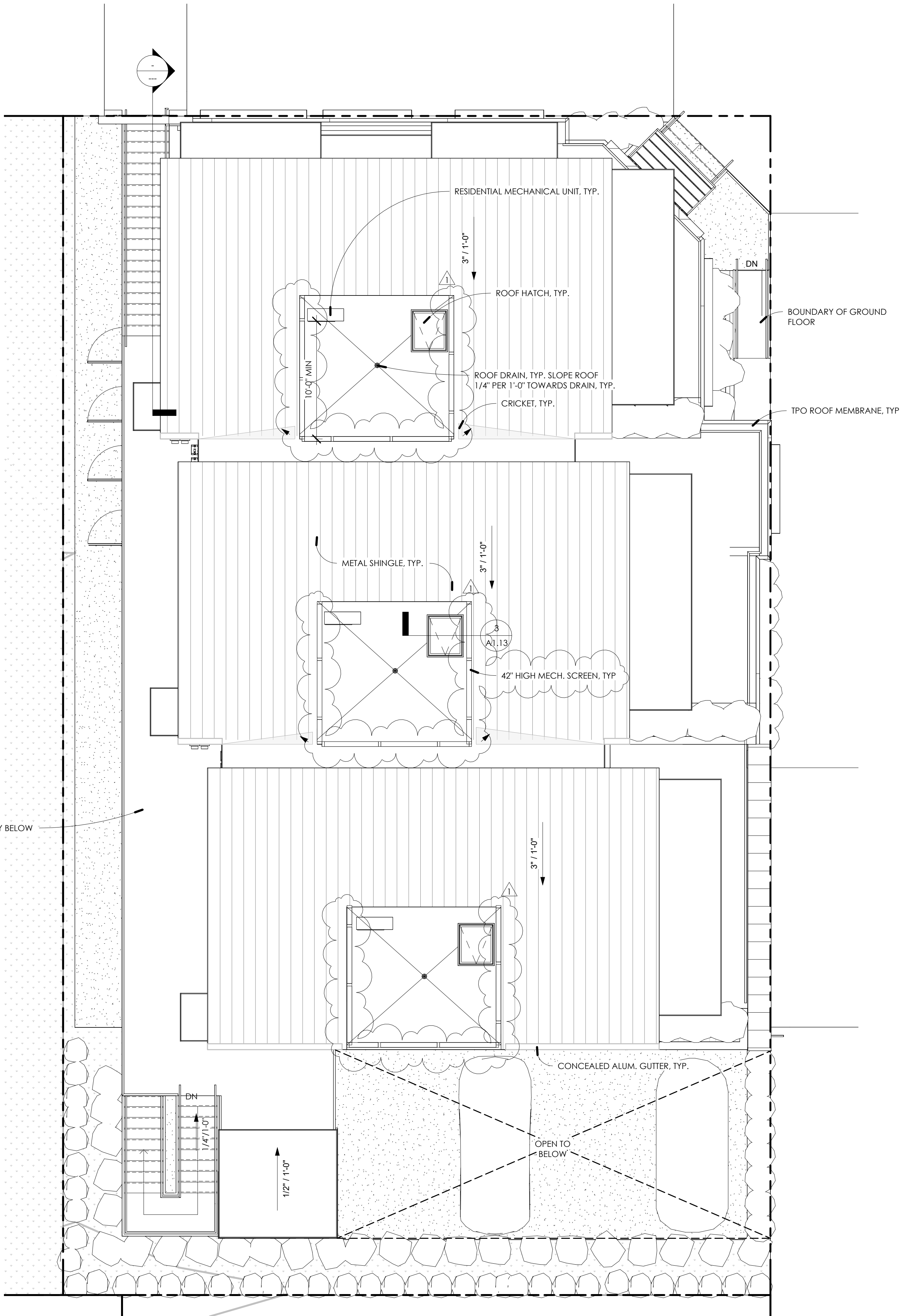
No.	Description	Date
1	REVISION 1	11.11.25

ROOF PLAN

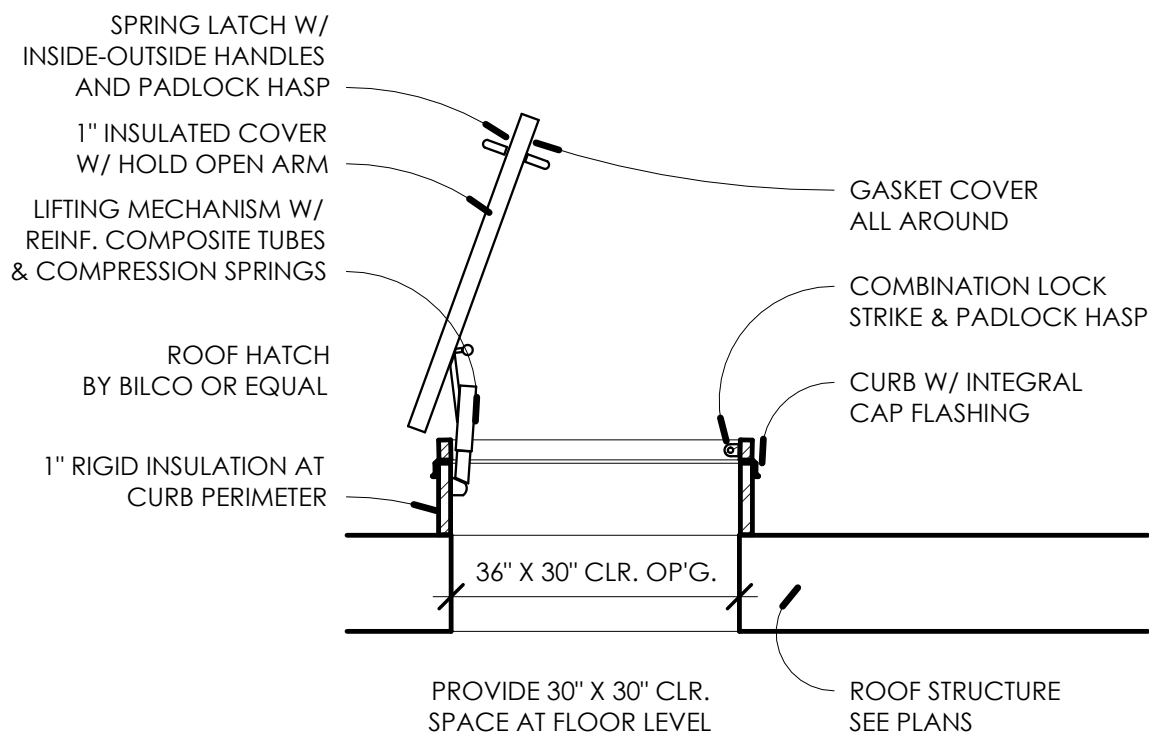
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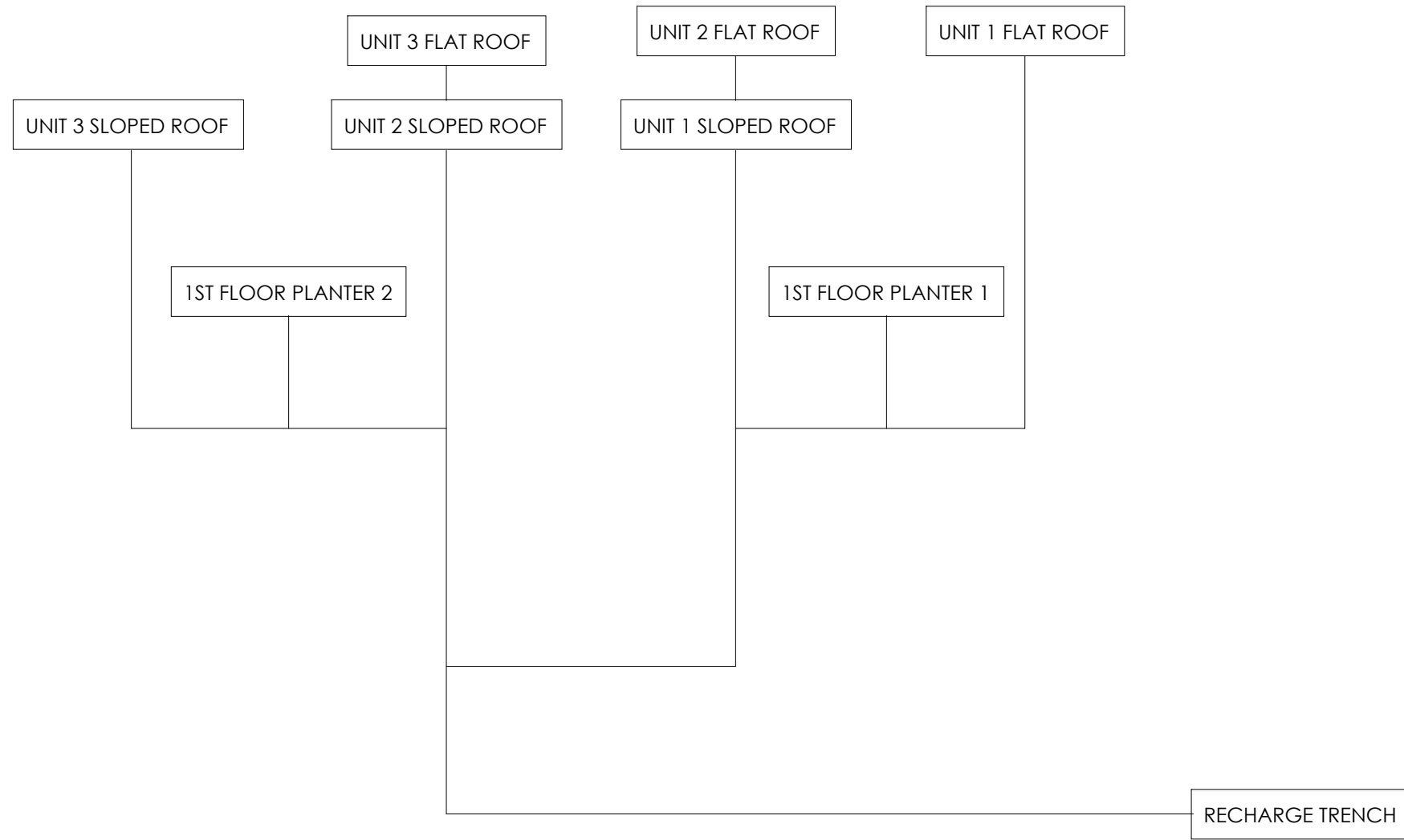
Comission no. 24001S



1 ROOF PLAN
3/16" = 1'-0"



3 ROOF ACCESS HATCH DETAIL
1/2" = 1'-0"



2 ROOF DRAINAGE DIAGRAM
1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTS	MTG	NOTES
LT01	GARAGE LTG	LITHONIA	VCPG V4 P2 30K 80CRI P5W MVOLT	120/277	34W	S	
LT02	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
LT03	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
LT04	SURFACE MTD - WET LISTED	LITHONIA	FMMLS7 .90 SWW2 WL	120/277	12.2W	S	
LT05	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	

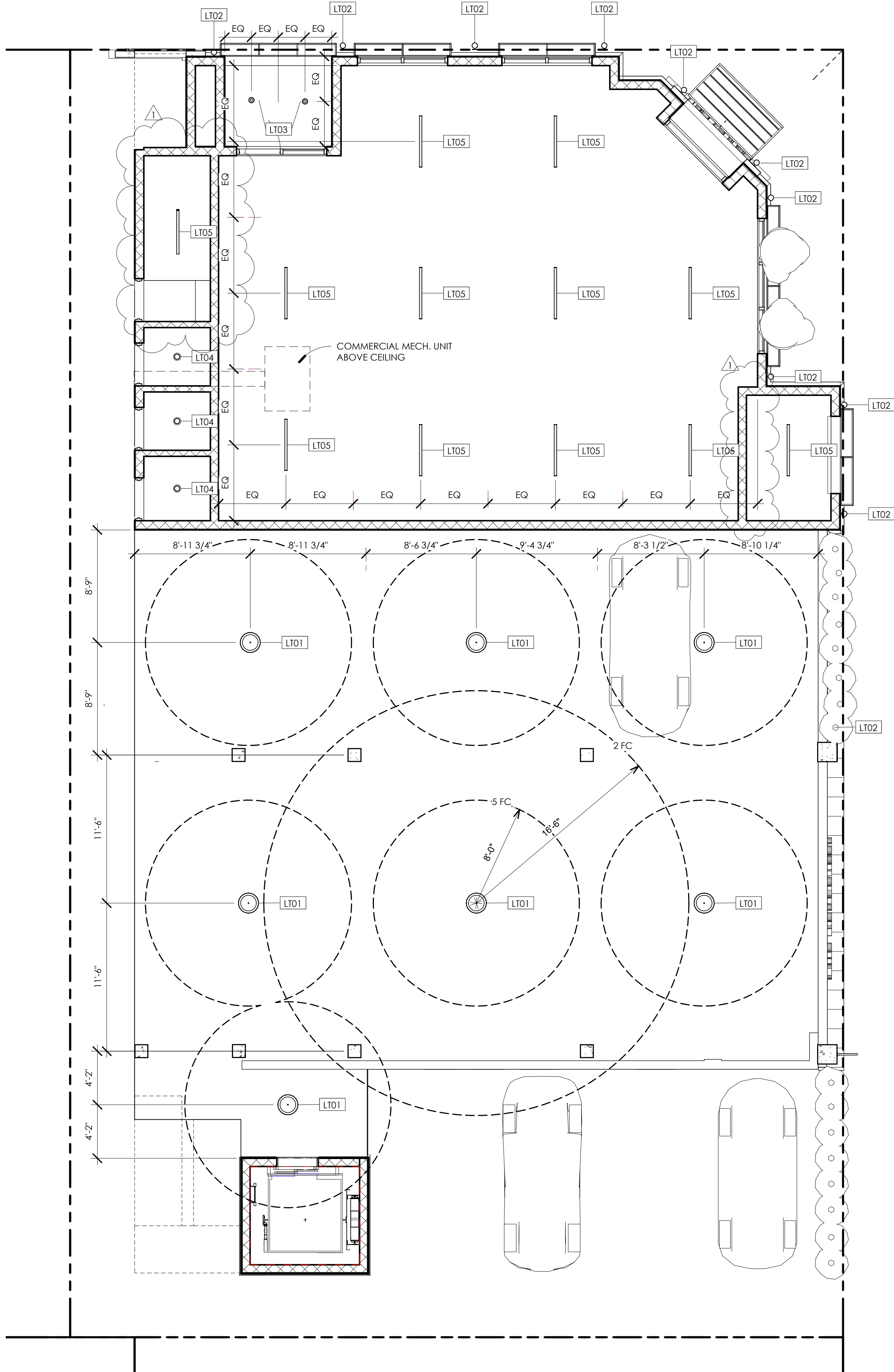


Specifications	
Height:	15" (381 mm) w/C1 19" (483 mm) w/C2 26-5/8" (676 mm) w/C3
Width:	6-7/16"
Weight:	164 mm Table

3 LT02
12" = 1'-0"

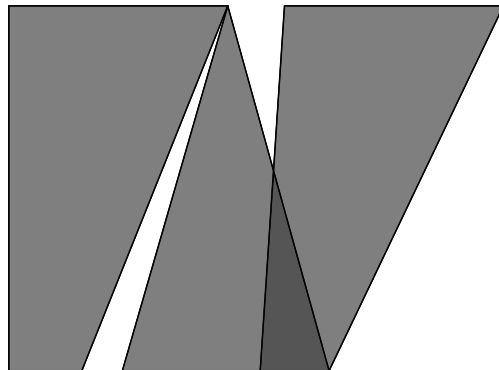


2 LT01
12" = 1'-0"



1 GROUND FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"





william mclees
architecture

5 Macarthur Boulevard | Somers Point, NJ 08244
t:609.927.0888 | f:609.927.0889
www.wmarch.net

William C. McLees
AIA, LEED AP
New Jersey State License
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AI 14054
RA403479



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NEW CONSTRUCTION:

MIXED USE
DEVELOPMENT

BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

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No.	Description	Date
1	REVISION 1	11.11.25

REFLECTED CEILING
PLAN - GROUND
FLOOR

Scale As indicated
Drawn by WSZ
Date 08.28.25

A1.20

Comission no. 24001S

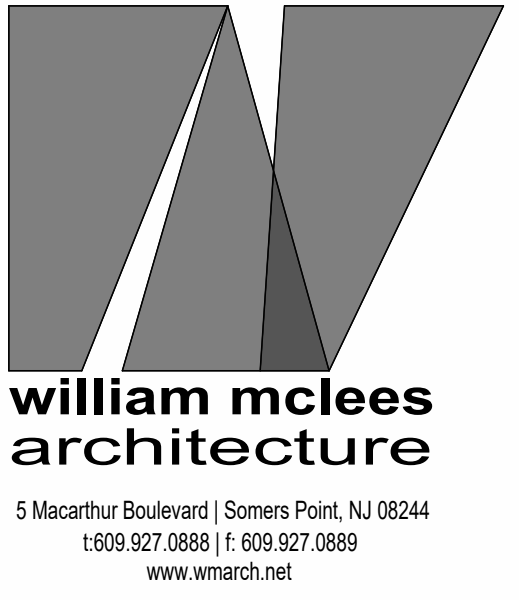
EXTERIOR FINISHES	
VALUE	DESCRIPTION
AW10	ALUMINIUM AND FABRIC AWNING. COLOR BY ARCHITECT.
DR20	PTD ALUM. ROLLUP OVERHEAD DOOR.
FB10	FIBERCEMENT TRIM BOARD. COLOR BY ARCHITECT.
FCP10	NICHIHA AWP 3030 VINTAGEWOOD WOOD SERIES FIBERCEMENT WALL PANEL. COLOR BY ARCHITECT.
FCP20	NICHIHA AWP 3030 EMPIREBLOCK CONCRETE SERIES FIBERCEMENT WALL PANEL. COLOR BY ARCHITECT.
FCP30	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, HORIZONTAL ORIENTATION. COLOR BY ARCHITECT.
FCP40	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, VERTICAL ORIENTATION. COLOR BY ARCHITECT.
LV10	WOOD LOOK ALUMINIUM PRIVACY SCREEN.
LV20	WOOD LOOK ALUMINIUM MECHANICAL SCREEN. 42" HIGH.
MR10	ATAS STANDING SEAM METAL ROOF. COLOR BY ARCHITECT.
RL10	42" ALUMINIUM RAILING W/ HORIZONTAL ROUND BARS. COLOR BY ARCHITECT.
SF10	ALUMINIUM DOUBLE GLAZED KAWNEER STOREFRONT WINDOW. COLOR BY ARCHITECT.
SN10	10" HIGH PTD METAL CHANNEL SIGN.
SS10	CONSTRUCTION SPECIALTIES CANTILEVERED ALUMINIUM LOUVERED SUNSHADE. COLOR BY ARCHITECT.
WW10	ANDERSEN DOUBLE GLAZED COMPOSITE FRAMED WINDOW. COLOR BY ARCHITECT.



2 WEST ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



William C. McLees
AIA, LEED AP
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NEW CONSTRUCTION:
MIXED USE DEVELOPMENT
BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
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No.	Description	Date
1	REVISION 1	11.11.25

ELEVATIONS

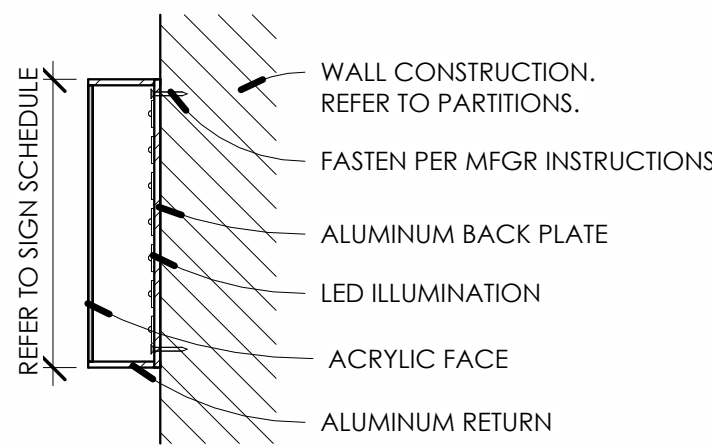
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Drawn by	WSZ
Date	08.28.25

A2.01

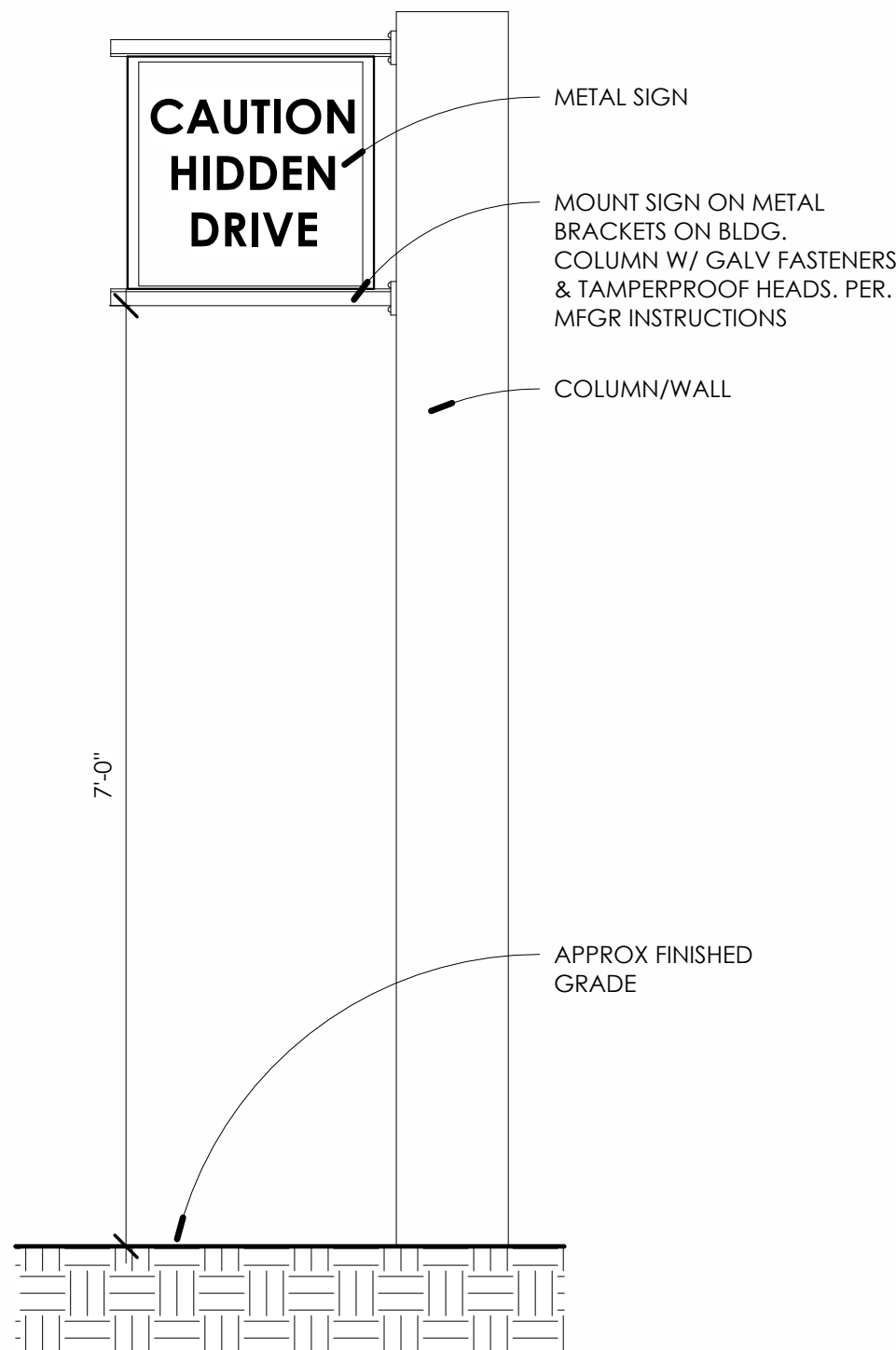
Comission no. 24001S

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FCP40	JAMES HARDIE ARTISAN SHIPLAP FIBERCEMENT SIDING, VERTICAL ORIENTATION. COLOR BY ARCHITECT.
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LV20	WOOD LOOK ALUMINUM MECHANICAL SCREEN, 42" HIGH.
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SF10	ALUMINUM DOUBLE GLAZED KAWNEER STOREFRONT WINDOW. COLOR BY ARCHITECT.
SN10	10" HIGH PTD METAL CHANNEL SIGN.
SS10	CONSTRUCTION SPECIALTIES CANTILEVERED ALUMINUM LOUVERED SUNSHADE. COLOR BY ARCHITECT.
WW10	ANDERSEN DOUBLE GLAZED COMPOSITE FRAMED WINDOW. COLOR BY ARCHITECT.

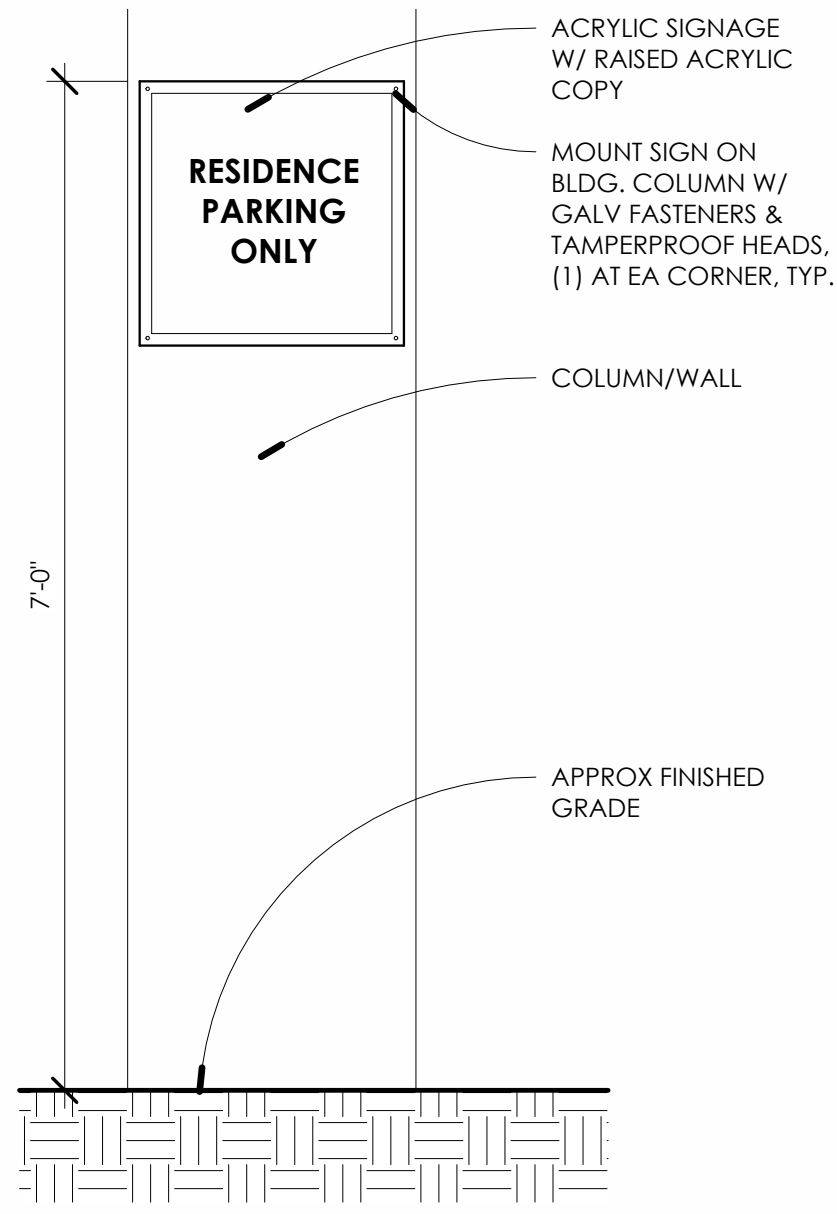
SIGNAGE SCHEDULE				
SIGN	HEIGHT	AREA	DESCRIPTION	MOUNTING
(2) COMMERCIAL VENDORS	14"	15 S.F.	ILLUMINATED METAL CHANNEL LETTER	WALL MTD
(1) RESIDENTIAL ENTRY	14"	15 S.F.	ILLUMINATED METAL CHANNEL LETTER	WALL MTD
		45 S.F. TOTAL		



5 CHANNEL SIGN DETAIL
1 1/2" = 1'-0"



4 SIGN DETAIL - 2
3/4" = 1'-0"



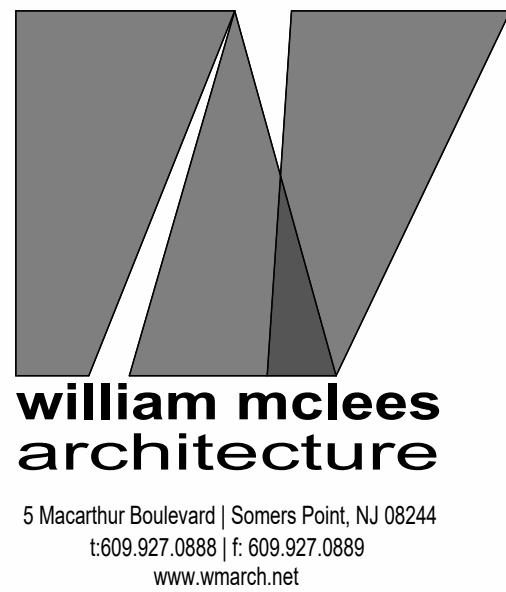
3 SIGN DETAIL - 1
3/4" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"



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NEW CONSTRUCTION:
MIXED USE DEVELOPMENT
BLOCK 60.03 LOT 17
SEA ISLE CITY, NJ
08243

APPROVAL SIGNATURES	
BOARD CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
OWNER/APPLICANT	DATE

DRAFT
PLANNING SUBMISSION

No.	Description	Date
1	REVISION 1	11.11.25

ELEVATIONS

Scale	As indicated
Drawn by	WSZ
Date	08.28.25

A2.02

Comission no. 24001S